



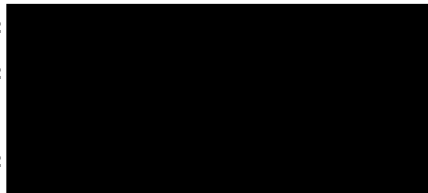
Chiefs Inspection Services

950 Eagles Landing Pkwy
Suite 845
Stockbridge, Ga. 30281
Inspector: **Willie Booker**



Property Inspection Report

Client(s):
Property address:
Inspection date:



This report published on



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How to Read this Report

This report is organized by the property's functional areas. Within each functional area, descriptive information is listed first and is shown in bold type. Items of concern follow descriptive information. Concerns are shown and sorted according to these types:

	Safety	Poses a safety hazard
	Repair/Replace	Recommend repairing or replacing
	Repair/Maintain	Recommend repair and/or maintenance
	Evaluate	Recommend evaluation by a specialist
	Comment	For your information

Contact your inspector if there are terms that you do not understand, or visit the glossary of construction terms at <https://www.reporthost.com/glossary.asp>

General Information

Inspector: Willie Booker

Type of building: Main

Age of main building: 1998 (26 years)

Type: Single family

Start: 6:30pm

Payment method: Pre-paid

Occupied: No

Temperature during inspection: Cool

Weather conditions during inspection: Cloudy

Ground condition: Damp

Foundation: Slab

Excluded: Security

1)  No carbon monoxide alarms are visible. This is a safety hazard. Recommend installing one or more carbon monoxide alarms as necessary and as per the manufacturer's instructions.

2)  This property was unoccupied, and the plumbing system has not been in continuous operation recently. It's possible for plumbing leaks to exist but not apparent. Leaks can be small and take time to become visible. The inspector normally operates all accessible and operable fixtures, but this limited inspection may not reveal small leaks that only become visible after constant use of the plumbing system. After taking occupancy, monitor the plumbing system for leaks that may become apparent. Areas below the house should be evaluated after plumbing has been operated to check for leaks. Any problems that are found should be repaired by a qualified plumber.

Grounds

Limitations: Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

Condition of fences and gates: Required repairs, replacement and/or evaluation (see comments below)

Fence and gate material: Wood

Retaining wall material: Masonry block

Site profile: Minor slope

Driveway material: Poured in place concrete

Sidewalk material: Poured in place concrete

Deck, patio, porch cover material and type: Covered (Refer to Roof section)

Deck, porch and/or balcony material: Concrete, Tile

3)  Minor deterioration (e.g. cracks, holes, settlement, heaving) was found in the driveway, but no trip hazards were found. The client may wish to have repairs made for cosmetic reasons.

Exterior and Foundation

Limitations: The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Condition of wall exterior covering: Required repairs, replacement and/or evaluation (see comments below)

Apparent wall structure: Wood frame

Wall covering: Vinyl

Apparent foundation type: Concrete slab on grade

Foundation/stem wall material: Poured in place concrete

Footing material (under foundation stem wall): Poured in place concrete

4)  The below items were found at the [EXTERIOR](#). Recommend evaluation by a qualified contractor and repairs made as necessary



Photo 4-1 Recommend pruning vegetation that is in contact with home



Photo 4-2 Minor damages noted in some areas
The hose bibb inoperable and should be secured to the home



Photo 4-3 Both left and right gates are deteriorated and difficult to close



Photo 4-4 Screen loose in some areas

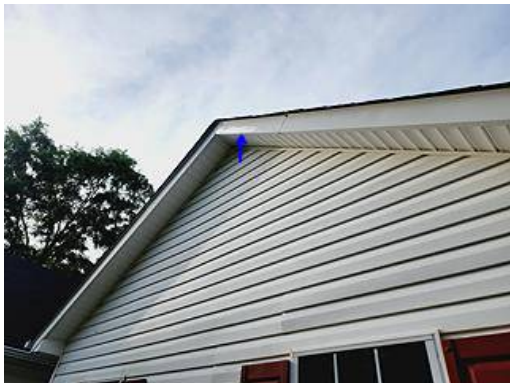


Photo 4-5 Paint peeling in some areas



Photo 4-6 Recommend monitoring this area after rain to ensure water is not standing. If standing water is observed have a qualified contractor evaluate and make recommendations for repairs



Photo 4-7 Wire splices exposed at exterior



Photo 4-8 Exhaust cap damaged/missing



Photo 4-9 Hose bibb loose and should be secured, severe movement can cause leaks



Photo 4-10 Ceiling fan damaged

Roof

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain, melting snow) would be needed to do so. Occupants should monitor the condition of roofing materials in the future. For older roofs, recommend that a professional inspect the roof surface, flashings, appurtenances, etc. annually and maintain/repair as might be required. If needed, the roofer should enter attic space(s). Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions perform adequately or are leak-free.

Roof inspection method: Partially traversed

Condition of roof surface material: Required repair, replacement and/or evaluation (see comments below)

Roof surface material: Asphalt or fiberglass composition shingles

Roof type: Gable

Apparent number of layers of roof surface material: One

Condition of exposed flashings: Required repair, replacement and/or evaluation (see comments below)

Gutter and downspout material: Metal

5)  The below items were found at the [ROOF AREA](#). Recommend evaluation by a qualified contractor and repairs made as necessary



Photo 5-1 Some gutters are full, recommend clearing as needed



Photo 5-2 Nail heads exposed at some areas, recommend applying sealant as needed



Photo 5-3 The metal chimney cap is corroded, recommend a qualified person prep and paint the cap with anti-rust paint to prevent further deterioration and leaks



Photo 5-4 Kick-out flashing missing at the chimney area
Splash blocks missing

Garage or Carport

Limitations: The inspector cannot reasonably determine the integrity of all elements of limited fire resistance at residential construction or verify firewall ratings at multi unit construction. Requirements for ventilation in garages vary between municipalities.

Type: Attached

Type of door between garage and house: Solid core

Type of garage vehicle door: Sectional

Number of vehicle doors: 1

Condition of automatic opener(s): Required repair, replacement and/or evaluation (see comments below)

Mechanical auto-reverse operable (reverses when meeting reasonable resistance during closing): Yes

6)  The below items were found in the **GARAGE AREA**. Recommend evaluation by a qualified contractor and repairs made as necessary



Photo 6-1 The garage door arm hits this area when opening. Recommend a qualified specialist adjusting the opener limit to stop prior to hitting this.



Photo 6-2 Repairs noted in some areas of the garage ceiling. The area was dry at the time of the inspection. Recommend monitoring



Photo 6-3 Dry stains noted at some window sills, recommend monitoring

Kitchen

Limitations: The following items are not included in this inspection: household appliances such as stoves, ovens, cook tops, ranges, warming ovens, griddles, broilers, dishwashers, trash compactors, refrigerators, freezers, ice makers, hot water dispensers and water filters; appliance timers, clocks, cook functions, self and/or continuous cleaning operations, thermostat or temperature control accuracy, and lights. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of the remaining life of appliances, and does not determine the adequacy of operation of appliances. The inspector does not note appliance manufacturers, models or serial numbers and does not determine if appliances are subject to recalls. Areas and components behind and obscured by appliances are inaccessible and excluded from this inspection.

- Condition of sinks and related plumbing:** Functional
- Condition of under-sink food disposal:** N/A (none installed)
- Condition of ranges, cooktops and/or ovens:** Not determined
- Range, cooktop, oven type:** Natural gas
- Type of ventilation:** Hood or built into microwave over range or cooktop
- Condition of built-in microwave oven:** N/A (none installed)

7)  The below items were found in the **KITCHEN AREA**. Recommend evaluation by a qualified contractor and repairs made as necessary

Note: No ice was found in the refrigerator's ice maker. It may be in the "off" position or be inoperable. The ice maker's condition is unknown, and it is excluded from this inspection. The water selection was functional



Photo 7-1 Kitchen sink window loose on the right-side



Photo 7-2 Right side sink switch did not operated anything, recommend evaluation



Photo 7-3 The stove was off at the time of the inspection



Photo 7-4 Unplugged, gas disconnected, exposed gas valve should be capped

8) Dishwasher appeared functional



Photo 8-1

Electric

Limitations: The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be

diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed electrician.

Primary service type: Underground

Service voltage (volts): 120-240

Estimated service amperage: 150

Primary service overload protection type: Circuit breakers

Main disconnect rating (amps): 150

Condition of main service panel: Required repair, replacement and/or evaluation (see comments below)

Location of main service panel #A: Garage

Branch circuit wiring type: copper, Aluminum multi-strand

Solid strand aluminum branch circuit wiring present: None visible

Smoke alarms installed: Yes, but not tested

Carbon monoxide alarms installed: No, recommend install

9)  The below items were found in the **ELECTRIC PANEL**. Recommend a qualified electrician evaluate and make necessary repairs

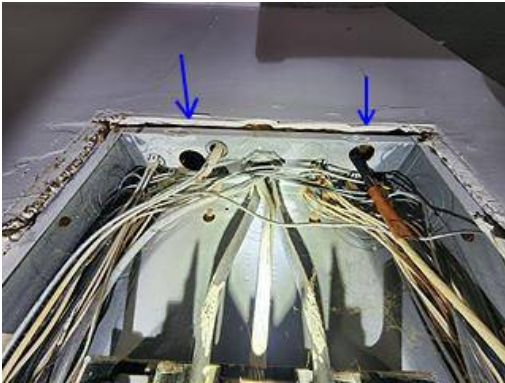


Photo 9-1 Left-side: Knockout missing
Right-side: Bushing missing



Photo 9-2 Some panel screws are missing - One incorrect (pointed) screw used recommend replacing as needed

10)  Based on the age of this structure and the appearance of existing smoke alarms, the alarms may have been installed more than 10 years ago. According to [National Fire Protection Association](https://www.nfpa.org), aging smoke alarms don't operate as efficiently and often are the source for nuisance alarms. Older smoke alarms are estimated to have a 30% probability of failure within the first 10 years. Newer smoke alarms do better, but should be replaced after 10 years. Unless you know that the smoke alarms are new, replacing them when moving into a new residence is also recommended by NFPA. For more information, visit:

<https://www.reporthost.com/?SMKALRMLS>

11) Main shut off location



Photo 11-1 Right-side of home



Photo 11-2 150 amps

12) General pictures of the service panel showing no abnormal temperature anomalies detected with the infrared camera at the time of inspection.



Photo 12-1



Photo 12-2

Water Heater

Limitations: Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

Type: Tank
Energy source: Natural gas
Estimated age: 2018
Capacity (in gallons): 40
Manufacturer: Rheem
Location of water heater: Garage
Hot water temperature tested: Yes

13) While inspecting the expansion tank, it did not dispel air from the valve. This should dispel air when tested. Recommend having a qualified plumbing contractor evaluate and repair or replace as necessary. These should be tested annually.

The expansion tank should also be properly supported to prevent stress on supply line



Photo 13-1

14) General pictures of water heater



Photo 14-1 Rheem gas water heater
Garage location



Photo 14-2 Manufactured 2018
40-gallon capacity

15) Water heater appeared functional at the time of the inspection



Photo 15-1

Heating, Ventilation and Air Condition (HVAC)

Limitations: The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

General heating system type(s): Furnace

Forced air heating system fuel type: Natural gas

Estimated age of forced air furnace: 2018

Forced air heating system manufacturer: Carrier

Location of forced air furnace: Attic

Condition of furnace filters: Required replacement

Location for forced air filter(s): Behind return air grill(s)

Cooling system and/or heat pump fuel type: Electric

Location of heat pump or air conditioning unit: Left side of home

Type: Split system

Estimated age of heat pump or air conditioning unit: 2014

Approximate tonnage: 3ton

16) Recommend that a PVC condensate drain line be installed from the air handler drain pan to the exterior of the house. This line will encourage condensate water to drain from the pan in the event that the moisture sensor in the pan fails. The system does have a moisture sensor. Issue noted at the attic unit.



Photo 16-1 Drain pan drain line disconnected from drain pan

17)  Recommend having all HVAC system evaluated and serviced annually. The inspector was unable to determine the last service date. Ask the property owner when it was last serviced. If unable to determine the last service date, or if this system was serviced more than 1 year ago, recommend that a qualified HVAC contractor service this system and make repairs if necessary. Because this system has a compressor and refrigerant system, this servicing should be performed annually in the future. Any needed repairs noted in this report should be brought to the attention of the contractor when it's serviced. If this property comes with a home warranty then the client should be aware that some warranty companies will not cover HVAC units if they have not been serviced before the purchase of the home or if the units are over 10 years of age.

18) General pictures of the HVAC system



Photo 18-1 Carrier AC unit
Left side of home



Photo 18-2 Manufactured 2014
3-ton unit



Photo 18-3 Carrier air handler unit
Attic location



Photo 18-4 Manufactured 2014
Filter behind grill in hall, and at air handler base

19) Furnace appeared to be heating at time of inspection

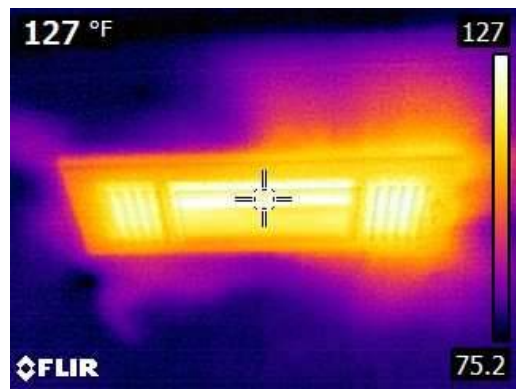


Photo 19-1

20) A/C unit appeared to be cooling at time of inspection.

NOTE

To determine if the A/C unit is cooling properly the inspector looks for supply air to be 14 to 20 degrees cooler than the return air.

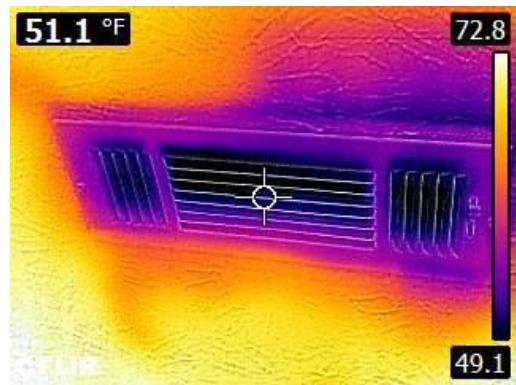


Photo 20-1 Supply

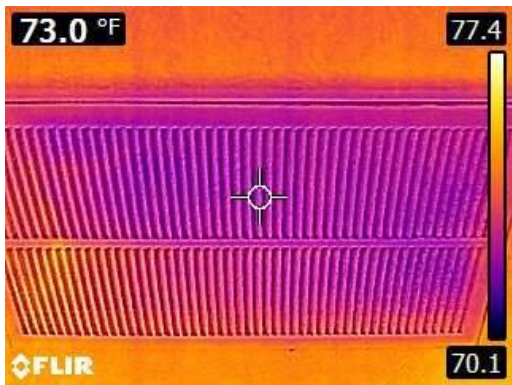


Photo 20-2 Return

Fireplaces, Stoves, Chimneys and Flues

Limitations: The following items are not included in this inspection: coal stoves, gas logs, chimney flues (except where visible). Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of drafting or sizing in fireplace and stove flues, and also does not determine if prefabricated or zero-clearance fireplaces are installed in accordance with the manufacturer's specifications. The inspector does not perform any evaluations that require a pilot light to be lit, and does not light fires. The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector who is a generalist.

Gas fireplace or stove type: Metal pre-fab fireplace

Wood-burning chimney type: Metal

Gas-fired flue type: B-vent

21)  The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector who is a generalist.

The gas fireplace was not fully evaluated because the pilot light was off or a lighting procedure was required. The inspector only operates normal controls (e.g. on/off switch or thermostat) and does not light pilot lights or operate gas shut-off valves. Recommend that the client review all documentation for such gas appliances and familiarize themselves with the lighting procedure. If necessary, a qualified specialist should assist in lighting such appliances, and make any needed repairs.

22) General pictures of fireplace



Photo 22-1



Photo 22-2



Photo 22-3



Photo 22-4

Bathrooms, Laundry and Sinks

Limitations: The following items are not included in this inspection: overflow drains for tubs and sinks; heated towel racks, saunas, steam generators, clothes washers, clothes dryers. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. The inspector does not operate water supply or shut-off valves for sinks, toilets, bidets, clothes washers, etc. due to the possibility of valves leaking or breaking when operated. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances.

Location #A: Full bath

Location #B: Full bath

Condition of sinks and related plumbing: Required repair, replacement and/or evaluation (see comments below)

Condition of toilets: Required repair, replacement and/or evaluation (see comments below)

Condition of bathtubs and related plumbing: Required repair, replacement and/or evaluation (see comments below)

Condition of shower(s) and related plumbing: Required repair, replacement and/or evaluation (see comments below)

Condition of ventilation systems: Required repair, replacement and/or evaluation (see comments below)

Bathroom and laundry ventilation type: Spot exhaust fans

Gas supply for laundry equipment present: No

240 volt receptacle for laundry equipment present: Yes

23)  The below items were found in the **BATHROOM & LAUNDRY AREAS**. Recommend evaluation by a qualified contractor and repairs made as necessary



Photo 23-1 Hall bathroom toilet and showerhead are loose



Photo 23-2 Recommend sealing all openings below hall sink



Photo 23-3 Master bathroom toilet loose
The left side sink has stress cracks - no leaks observed due to cracks
The right-side sink drains slowly, recommend clearing as necessary



Photo 23-4 Shower head and handle loose in master bathroom



Photo 23-5 Master bathroom drain stopper is detached



Photo 23-6 Dryer 3-prong, most new outlets are 4 prong. Dryer outlet cover missing



Photo 23-7 Laundry GFCI outlet loose

Interior, Doors and Windows

Limitations: The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Carpeting and flooring, when installed over concrete slabs, may conceal moisture. If dampness wicks through a slab and is hidden by floor coverings that moisture can result in unhygienic conditions, odors or problems that will only be discovered when/if the flooring is removed. Determining the cause and/or source of odors is not within the scope of this inspection.

Exterior door material: Wood, Glass panel

Condition of windows and skylights: Required repair, replacement and/or evaluation (see comments below)

Type(s) of windows: Vinyl

Wall type or covering: Drywall

Ceiling type or covering: Drywall

Flooring type or covering: Carpet, Tile

24) 🔧🔍 The below items were found in the [INTERIOR](#). Recommend evaluation by a qualified contractor and repairs made as necessary



Photo 24-1 Sunroom ceiling fan wobbly



Photo 24-2 Screened in porch ceiling fan appears inoperable



Photo 24-3 Some outlet covers are loose, recommend securing as needed - Front bedroom



Photo 24-4 Outlet covers loose, master bedroom



Photo 24-5 Dry stains



Photo 24-6 Repairs noted, dry stains observed. Recommend monitoring

25) Infrared pictures of home

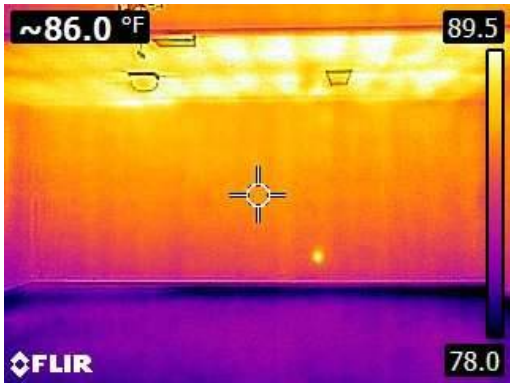


Photo 25-1



Photo 25-2



Photo 25-3



Photo 25-4



Photo 25-5



Photo 25-6

Attic and Roof Structure

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

Attic inspection method: Partially traversed

Roof structure type: Rafters

Ceiling structure: Ceiling joists

Condition of insulation in attic (ceiling, skylight chase, etc.): Required repair, replacement and/or evaluation (see comments below)

Ceiling insulation material: Fiberglass loose fill, Fiberglass roll or batt

Vapor retarder: None

Roof ventilation type: Gable end vents, Enclosed soffit vents, Mechanical vents with powered fan

26) 🔍 The below items were found in the [ATTIC AREA](#). Recommend evaluation by a qualified contractor and repairs made as necessary

Note: Some attic areas were inaccessible due to lack of permanently installed walkways, the possibility of damage to insulation, and low height. These areas are excluded from this inspection.



Photo 26-1 Attic stairs damaged



Photo 26-2 Dry stains noted in some attic areas. These areas were dry at the time of the inspection. Recommend monitoring in the future and if necessary have a qualified contractor evaluate and make any needed repairs



Photo 26-3 Insulation fallen in some areas above the living room. Also noted with the thermal camera



Photo 26-4 Insulation fallen



Photo 26-5 Gable screen damaged



Photo 26-6 Droppings observed below damaged gable screen



Photo 26-7 Dry stains



Photo 26-8 Dry stains



Photo 26-9 Exposed splices noted in some areas



Photo 26-10 Dry stains chimney area

Plumbing / Fuel Systems

Limitations: The following items are not included in this inspection: private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices. Any comments made regarding these items are as a courtesy only. Note that the inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated. The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks.

Water service: Public

Location of main water meter: By street

Service pipe material: Plastic

Supply pipe material: CPVC plastic

Drain pipe material: Plastic

Condition of waste lines: Not visible

Waste pipe material: Plastic

Location(s) of plumbing clean-outs: Building exterior

Vent pipe material: Plastic

Sump pump installed: No

Sewage ejector pump installed: No

Location of main fuel shut-off valve: At gas meter

27) Location of water shut off



Photo 27-1 Front yard shut off location



Photo 27-2



Photo 27-3 Garage shut off location



Photo 27-4 Water pressure @ 70psi

28) Location of gas shut off:



Photo 28-1 Left side of home

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