



Chiefs Inspection Services

950 Eagles Landing Pkwy
Suite 845
Stockbridge, Ga. 30281
Inspector: **Willie Booker**



Property Inspection Report

Client(s) [REDACTED]

Property address [REDACTED]

McDonough, GA

Inspection date: [REDACTED]

This report is the exclusive property of this inspection company and the client(s) listed in the report title. Use of this report by any unauthorized persons is prohibited.

How to Read this Report

This report is organized by the property's functional areas. Within each functional area, descriptive information is listed first and is shown in bold type. Items of concern follow descriptive information. Concerns are shown and sorted according to these types:

	Repair/Replace	Recommend repairing or replacing
	Repair/Maintain	Recommend repair and/or maintenance
	Maintain	Recommend ongoing maintenance
	Evaluate	Recommend evaluation by a specialist
	Monitor	Recommend monitoring in the future
	Comment	For your information

Contact your inspector If there are terms that you do not understand, or visit the glossary of construction terms at <https://www.reporthost.com/glossary.asp>

General Information

Inspector: Willie Booker

Type of building: Main

Age of main building: 2018 (4 years)

Type: Single family

Start: 1:00 Pm

Payment method: Pre-paid

Occupied: No

Temperature during inspection: Hot, 90

Weather conditions during inspection: Sunny

Ground condition: Dry

Foundation: Slab

Excluded: Security, Irrigation

Furniture, stored items: Many

1) ⓘ This property was unoccupied, and the plumbing system has not been in continuous operation recently. It's possible for plumbing leaks to exist but not apparent. Leaks can be small and take time to become visible. The inspector normally operates all accessible and operable fixtures, but this limited inspection may not reveal small leaks that only become visible after constant use of the plumbing system. After taking occupancy, monitor the plumbing system for leaks that may become apparent. Areas below the house should be evaluated after plumbing has been operated to check for leaks. Any problems that are found should be repaired by a qualified plumber.

Grounds

Limitations: Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

Site profile: Minor slope

Driveway material: Poured in place concrete

Sidewalk material: Poured in place concrete

Deck, patio, porch cover material and type: Covered (Refer to Roof section)

Deck, porch and/or balcony material: Concrete

2) ⓘ Evidence of past accumulated water were found at one location in the yard or landscaped areas, and no drain was visible. If evidence of past water was found (e.g. silt accumulation or staining), monitor these areas in the future during periods of heavy rain. If standing water exists, recommend that a qualified person repair as necessary. For example, installing one or more drains, or grading soil.



Photo 2-1 Left side of home

3) ⓘ Minor deterioration (e.g. cracks, holes, settlement, heaving) was found in sidewalks or patios, but no trip hazards were found. The client may wish to have repairs made for cosmetic reasons.

Exterior and Foundation

Limitations: The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures

obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Apparent wall structure: Wood frame

Wall covering: Brick veneer

Apparent foundation type: Concrete slab on grade

Foundation/stem wall material: Poured in place concrete

Footings material (under foundation stem wall): Poured in place concrete

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- 4)  Some sections of siding and/or trim were deteriorated and/or damaged. Recommend that a qualified person repair, replace or install siding or trim as necessary.
-
- 5)  One or more holes or gaps were found in siding or trim. Vermin, insects or water may enter the structure. Recommend that a qualified person repair as necessary.
-



Photo 5-1 AT rear entrance



Photo 5-2

-
- 6)  Minor cracks were observed in some areas of the brick veneer mortar. Where cracks or openings are exposed, water may enter the wall structure causing mold, fungal growth and structural damage. This is a conducive condition for wood-destroying organisms. Recommend that a qualified contractor repair as necessary.
-



Photo 6-1 Rear of home



Photo 6-2

-
- 7) General pictures of exterior



Photo 7-1



Photo 7-2



Photo 7-3



Photo 7-4



Photo 7-5

Roof

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain, melting snow) would be needed to do so. Occupants should monitor the condition of roofing materials in the future. For older roofs, recommend that a professional inspect the roof surface, flashings, appurtenances, etc. annually and maintain/repair as might be required. If needed, the roofer should enter attic space(s). Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions perform adequately or are leak-free.

Roof inspection method: Viewed from ground

Condition of roof surface material: Required repair, replacement and/or evaluation (see comments below)

Roof surface material: Asphalt or fiberglass composition shingles

Apparent number of layers of roof surface material: One

Condition of exposed flashings: Required repair, replacement and/or evaluation (see comments below)

8)  Kick-out flashing was missing at one or more locations. Such flashing should be located at the bottom of slopes where roof surfaces intersect with exterior walls above. It directs rainwater away from exterior walls and into gutters so that rainwater is less likely to run down the front surfaces of siding or flow behind siding. Recommend that a qualified contractor install kickout flashings where missing and per standard building practices.



Photo 8-1 Both sides of patio cover

9)  Some composition shingles were damaged. Leaks can occur as a result. This is a conducive condition for wood-destroying organisms. Recommend that a qualified contractor repair as necessary. For example, by replacing shingles.



Photo 9-1



Photo 9-2

10)  Significant amounts of debris have accumulated in one or more gutters or downspouts. Gutters can overflow and cause water to come in contact with the building exterior, or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Recommend cleaning gutters and downspouts now and as necessary in the future.

11)  Nail heads were exposed at some roof vents. Recommend applying an approved sealant over exposed nail heads now and as necessary in the future to prevent leaks.



Photo 11-1

Garage or Carport

Limitations: The inspector cannot reasonably determine the integrity of all elements of limited fire resistance at residential construction or verify firewall ratings at multi unit construction. Requirements for ventilation in garages vary between municipalities.

Type: Attached

Type of door between garage and house: Wood

Type of garage vehicle door: Sectional

Number of vehicle doors: 1

Condition of automatic opener(s): Functional

Mechanical auto-reverse operable (reverses when meeting reasonable resistance during closing): Yes

Garage ventilation: Adequate

12)  The garage doors rollers make a loud noise when operating and sound as if they need lubrication. Recommend having a qualified contractor evaluate and make any necessary repairs.

13)  Minor cracks were found in the concrete slab floor. These are common and appeared to be only a cosmetic issue.

14) General pictures of garage/carport



Photo 14-1



Photo 14-2

Kitchen

Limitations: The following items are not included in this inspection: household appliances such as stoves, ovens, cook tops, ranges, warming ovens, griddles, broilers, dishwashers, trash compactors, refrigerators, freezers, ice makers, hot water dispensers and water filters; appliance timers, clocks, cook functions, self and/or continuous cleaning operations, thermostat or temperature control accuracy, and lights. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of the remaining life of appliances, and does not determine the adequacy of operation of appliances. The inspector does not note appliance manufacturers, models or serial numbers and does not determine if appliances are subject to recalls. Areas and components behind and obscured by appliances are inaccessible and excluded from this inspection.

Condition of sinks and related plumbing: Functional

Condition of under-sink food disposal: Functional

Condition of ranges, cooktops and/or ovens: Required repair, replacement and/or evaluation (see comments below)

Range, cooktop, oven type: Natural gas

Type of ventilation: Hood or built into microwave over range or cooktop

15)  1 cooktop burner was inoperable. Recommend that a qualified person repair as necessary.



Photo 15-1

16)  Stains were found in the cabinet below the sink. Plumbing leaks may have occurred in the past. Consult with the property owner about this, and if necessary a qualified person evaluate and repair.

17) General pictures of kitchen

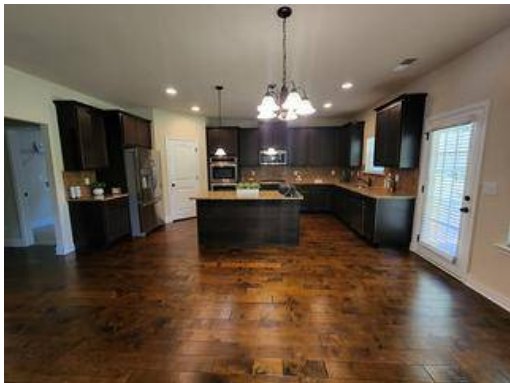


Photo 17-1

18) Microwave appeared functional at the time of the inspection

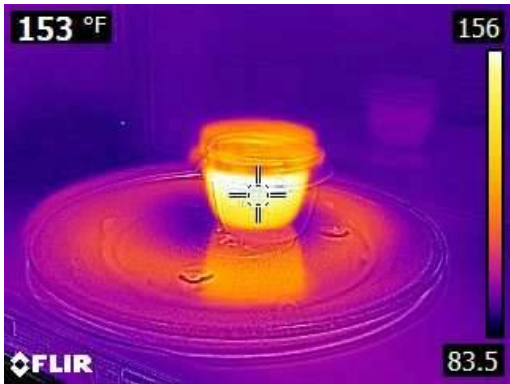


Photo 18-1

19) Oven appeared functional



Photo 19-1

20) Dishwasher appeared functional

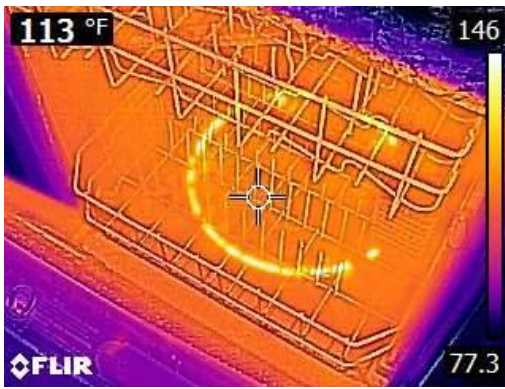


Photo 20-1

21) The refrigerator appeared functional



Photo 21-1

Electric

Limitations: The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed electrician.

Primary service type: Underground

Service voltage (volts): 120-240

Estimated service amperage: 200

Primary service overload protection type: Circuit breakers

Main disconnect rating (amps): 150

System ground: Rebar

Location of main service panel #A: Garage

Location of main disconnect: Breaker at bottom of main service panel

Branch circuit wiring type: non-metallic sheathed, copper

Solid strand aluminum branch circuit wiring present: None visible

Smoke alarms installed: Yes, but not tested

Carbon monoxide alarms installed: Yes, but not tested

22) Some breakers have painters tape attached to them, and some panel screws are missing. Recommend asking the seller about this and if necessary have a qualified contractor evaluate and repair as necessary.

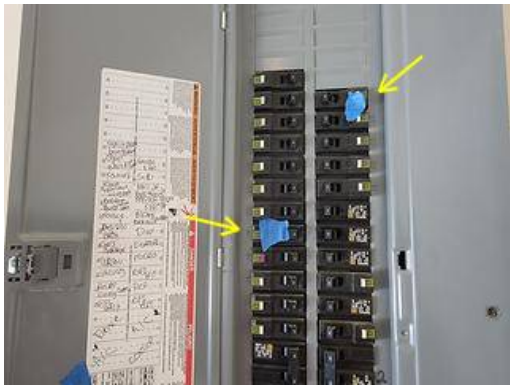


Photo 22-1

23) Main shut off location



Photo 23-1 Bottom of service panel

24) General pictures of the service panel showing no abnormal temperature anomalies detected with the infrared camera at the time of inspection.



Photo 24-1



Photo 24-2

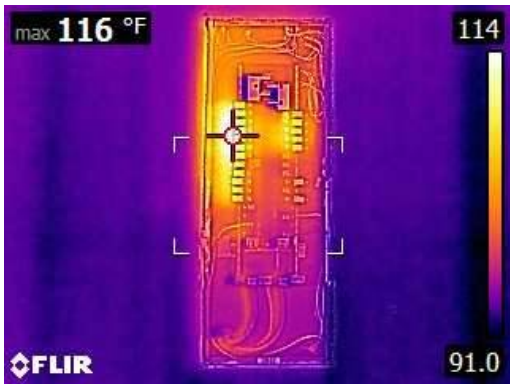


Photo 24-3

Water Heater

Limitations: Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

Type: Tank
Energy source: Natural gas
Capacity (in gallons): 50
Temperature-pressure relief valve installed: Yes
Manufacturer: Rheem
Location of water heater: Garage
Hot water temperature tested: Yes
Water temperature (degrees Fahrenheit): 118

25) General pictures of water heater



Photo 25-1 Rheem gas water heater
Garage location



Photo 25-2 Manufactured 2017
50-gallon capacity

26) Water heater appeared functional at the time of the inspection



Photo 26-1

Heating, Ventilation and Air Condition (HVAC)

Limitations: The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

General heating system type(s): Furnace
General heating distribution type(s): Ducts and registers

Forced air heating system fuel type: Natural gas
Forced air heating system manufacturer: Goodman
Location of forced air furnace: Attic
Condition of furnace filters: Required replacement
Location for forced air filter(s): At base of air handler
Cooling system and/or heat pump fuel type: Electric
Location of heat pump or air conditioning unit: Left side of home
Type: Split system
Manufacturer of cooling system and/or heat pump: Goodman
Condition of controls: Functional

27)  There was insulation and Mud daubers nest inside the #2 furnace cover. Recommend a qualified person evaluate and make repairs as necessary



Photo 27-1

28)  Recommend having all HVAC system evaluated and serviced annually. The inspector was unable to determine the last service date. Ask the property owner when it was last serviced. If unable to determine the last service date, or if this system was serviced more than 1 year ago, recommend that a qualified HVAC contractor service this system and make repairs if necessary. Because this system has a compressor and refrigerant system, this servicing should be performed annually in the future. Any needed repairs noted in this report should be brought to the attention of the contractor when it's serviced. If this property comes with a home warranty then the client should be aware that some warranty companies will not cover HVAC units if they have not been serviced before the purchase of the home or if the units are over 10 years of age.

29) General pictures of the HVAC system



Photo 29-1 Goodman AC unit #1
Left side of home



Photo 29-2 Manufactured 2017
3.5-ton unit



Photo 29-3 Goodman AC unit #2
Left side of home



Photo 29-4 Manufactured 2018
3.5-ton unit



Photo 29-5 Goodman gas furnace #1
Attic location



Photo 29-6 Manufactured 2017
Filter at base



Photo 29-7 Goodman gas furnace #2
Attic location



Photo 29-8 Manufactured 2017
Filter at base

30) Furnace(s) appeared to be heating at time of inspection

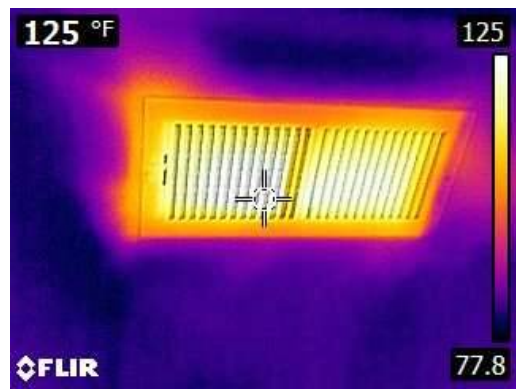


Photo 30-1 2nd floor reading

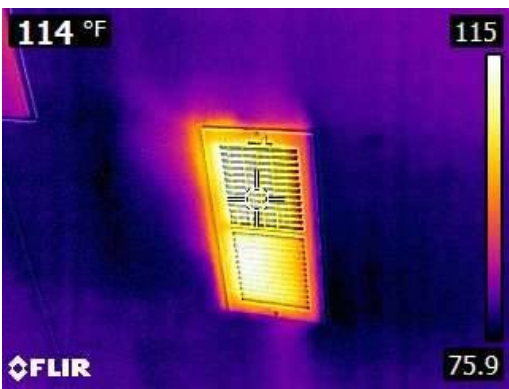


Photo 30-2 1st floor reading

31) A/C unit(s) appeared to be cooling at time of inspection.

NOTE

To determine if the A/C unit(s) are cooling properly the inspector looks for supply air to be 14 to 20 degrees cooler than the return air.

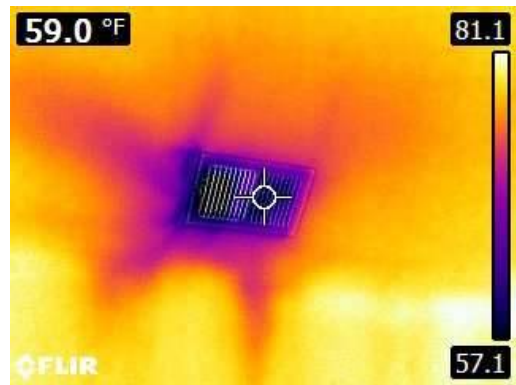


Photo 31-1 2nd floor supply

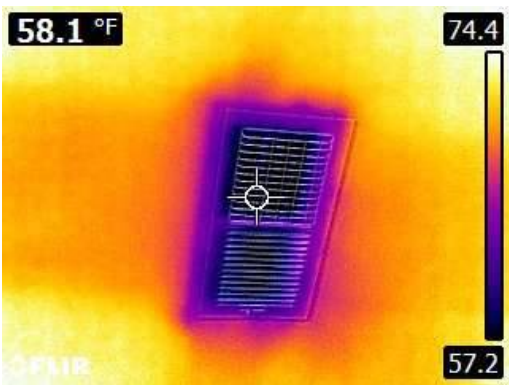


Photo 31-2 1st floor supply



Photo 31-3 Return

Fireplaces, Stoves, Chimneys and Flues

Limitations: The following items are not included in this inspection: coal stoves, gas logs, chimney flues (except where visible). Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of drafting or sizing in fireplace and stove flues, and also does not determine if prefabricated or zero-clearance fireplaces are installed in accordance with the manufacturer's specifications. The inspector does not perform any evaluations that require a pilot light to be lit, and does not light fires. The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector who is a generalist.

Gas fireplace or stove type: Metal pre-fab fireplace

Wood-burning chimney type: Metal

Gas-fired flue type: B-vent

32) The gas fireplace or stove was not fully evaluated because the pilot light was off or a lighting procedure was required. The inspector only operates normal controls (e.g. on/off switch or thermostat) and does not light pilot lights or operate gas shut-off valves. Recommend that the client review all documentation for such gas appliances and familiarize themselves with the lighting procedure. If necessary, a qualified specialist should assist in lighting such appliances, and make any needed repairs.

The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector who is a generalist.

33) General pictures of fireplace(s)



Photo 33-1



Photo 33-2



Photo 33-3



Photo 33-4

Bathrooms, Laundry and Sinks

Limitations: The following items are not included in this inspection: overflow drains for tubs and sinks; heated towel racks, saunas, steam generators, clothes washers, clothes dryers. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. The inspector does not operate water supply or shut-off valves for sinks, toilets, bidets, clothes washers, etc. due to the possibility of valves leaking or breaking when operated. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances.

Location #A: Full bath, Master bath, second floor

Location #B: Full bath, second floor, Forward bedroom bathroom

Location #C: Full bath, second floor, Jack and Jill

Location #D: Full bath, first floor, Hall

Condition of sinks and related plumbing: Required repair, replacement and/or evaluation (see comments below)

Condition of toilets: Required repair, replacement and/or evaluation (see comments below)

Condition of bathtubs and related plumbing: Required repair, replacement and/or evaluation (see comments below)

Bathroom and laundry ventilation type: Spot exhaust fans

Gas supply for laundry equipment present: No

240 volt receptacle for laundry equipment present: Yes

34) The below items were found in the ***JACK & JILL BATHROOM***. Recommend a qualified contractor/plumber evaluate and make necessary repairs

- 1. Water was discolored when the bathtub was filled. This can be caused by water stagnating in water supply pipes, rust accumulating in pipes or in the water heater, or sediment being present in the water supply. Recommend flushing the water supply piping and the water heater. If that fails to resolve the issue, then have a qualified plumber evaluate and repair as necessary.
- 2. The toilet is loose
- 3. The bathtub drains slowly

35)  The sink drain stopper mechanism in the ***1ST FLOOR HALF BATHROOM*** was inoperable. Recommend that a qualified person repair or replace as necessary.

36) General pictures of bathrooms and laundry areas



Photo 36-1 Master bathroom



Photo 36-2 2nd floor forward bedroom bathroom



Photo 36-3 Jack & Jill bathroom



Photo 36-4 1st floor hall bathroom



Photo 36-5

- 37) Jetted tub was functional at the time of the inspection



Photo 37-1

Interior, Doors and Windows

Limitations: The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Carpeting and flooring, when installed over concrete slabs, may conceal moisture. If dampness wicks through a slab and is hidden by floor coverings that moisture can result in unhygienic conditions, odors or problems that will only be discovered when/if the flooring is removed. Determining the cause and/or source of odors is not within the scope of this inspection.

Exterior door material: Wood, Glass panel

Condition of windows and skylights: Functional

Type(s) of windows: Vinyl

Wall type or covering: Drywall

Ceiling type or covering: Drywall

Flooring type or covering: Carpet, Laminate, Tile

38)  Repairs were found in one or more ceiling areas. However, no elevated levels of moisture were found. The stain(s) may be due to past roof and/or plumbing leaks. Consult with the property owner and monitor the stained area(s) in the future, especially after heavy or prolonged rain. If elevated moisture is found in the future, then recommend that a qualified contractor evaluate and repair as necessary.

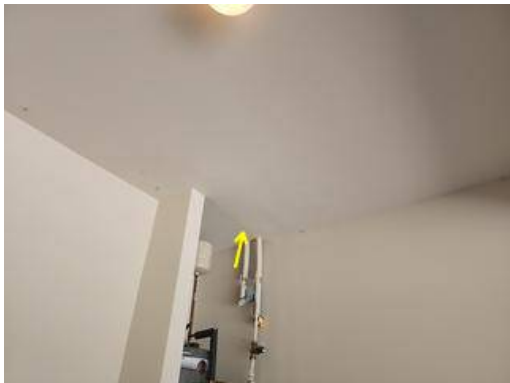


Photo 38-1 Garage area



Photo 38-2 Living area ceiling

39) General pictures of interior



Photo 39-1



Photo 39-2



Photo 39-3



Photo 39-4



Photo 39-5



Photo 39-6

40) Basic infrared pictured of home



Photo 40-1

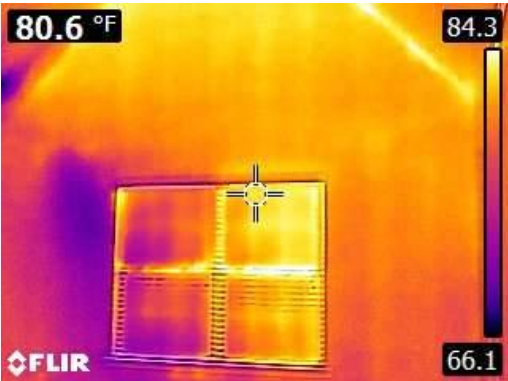


Photo 40-2



Photo 40-3



Photo 40-4



Photo 40-5

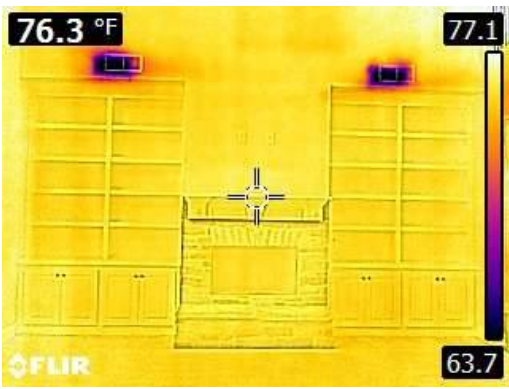


Photo 40-6

Attic and Roof Structure

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

Roof structure type: Trusses

Ceiling structure: Trusses

Ceiling insulation material: Fiberglass loose fill

Roof ventilation type: Ridge vent(s), Enclosed soffit vents

41)  2 small attic areas in the master closet were sealed shut, these areas are excluded from the inspection



Photo 41-1

42) General pictures of attic area



Photo 42-1



Photo 42-2



Photo 42-3



Photo 42-4



Photo 42-5



Photo 42-6

43) Some attic areas were inaccessible due to lack of permanently installed walkways, the possibility of damage to insulation, low height and/or stored items. These areas are excluded from this inspection.

Plumbing / Fuel Systems

Limitations: The following items are not included in this inspection: private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices. Any comments made regarding these items are as a courtesy only. Note that the inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated. The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks.

Water service: Public

Location of main water meter: By street

Location of main water shut-off: Garage

Service pipe material: Plastic

Supply pipe material: PEX plastic

Drain pipe material: Plastic
Waste pipe material: Not visible
Vent pipe material: Plastic
Sump pump installed: None visible
Sewage ejector pump installed: None visible
Location of main fuel shut-off valve: At gas meter

44) Location of water shut off



Photo 44-1 Front yard shut off location



Photo 44-2 Garage shut off location



Photo 44-3 Water pressure @ 80psi

45) Location of gas shut off:



Photo 45-1 Left side of home